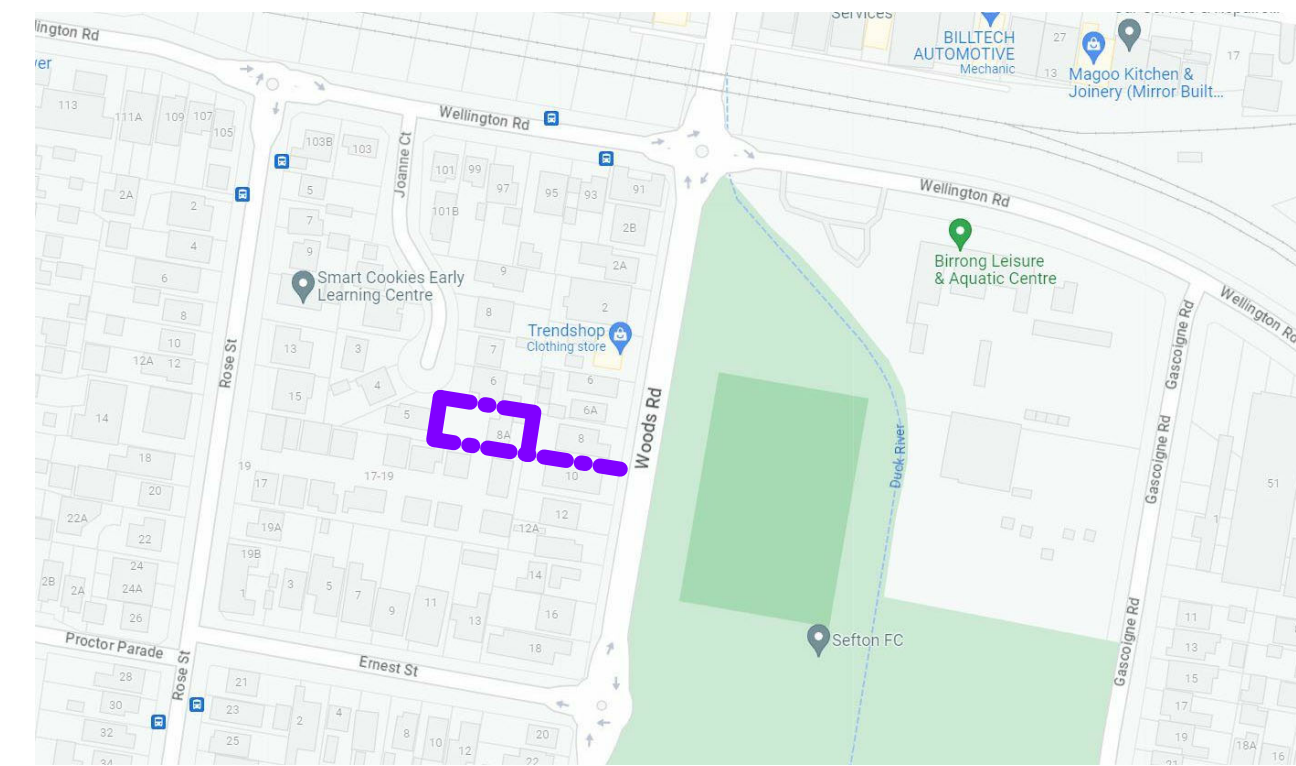


1 Site Plan
1 : 250

LOCATION MAP



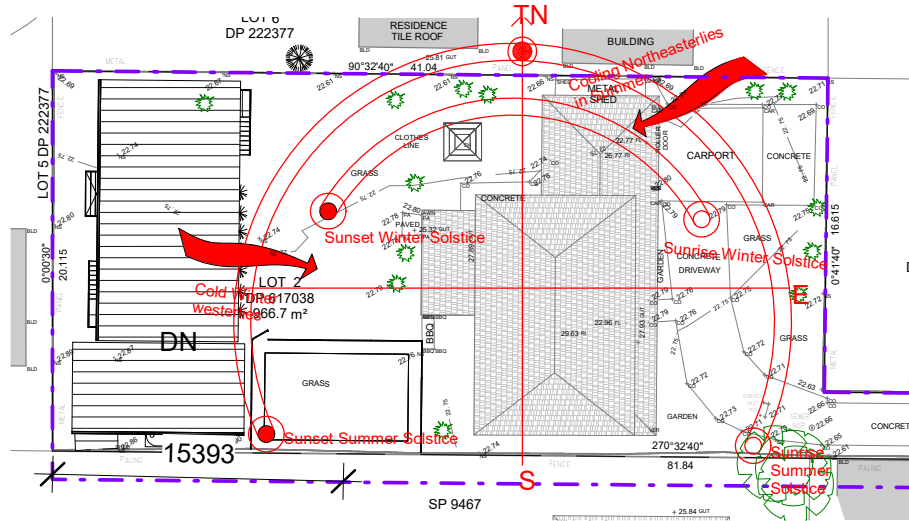
NOTES AND SPECIFICATION

- These drawings are to be read in conjunction with the architectural drawings, structural drawings, and the specification.
- Prior to commencement of works the contractor shall satisfy himself of the correct location of existing services whether indicated or not on the plans. Any damage to existing services shall be rectified at the contractor's expense.
- Traffic management measures have to be implemented and maintained during construction, all in accordance with Council's requirements. The contractor shall maintain safe pedestrian access along the footpath.
- The contractor shall effect temporary drainage measures to avoid localised ponding of surface run-off.
- Refer to architect's drawings for all details (levels, grading, etc.) of driveways, concrete and paved areas, and retaining wall types and locations.
- Refer to landscape architect's drawings for details and extent of all landscaped areas.
- All SWD pipes are UPVC at 1.0% minimum grade.
- SWD pits can be pre-cast sized as follows: 450mm sq. up to 600mm deep 600mm sq. up to 1000mm deep
- All pits located in trafficable areas, (ie, driveways) to have medium-duty grated covers suitable for withstanding loads associated with small trucks.
- Provide step irons to all pits greater than 1.2m deep.
- The contractor shall implement all soil erosion and sediment control measures prior to commencement of works.
- Topsoil shall be stripped dn stockpile outside hazard areas such as drainage lines. This topsoil is to be respread later on are as to be revegetated.
- The contractor shall regularly maintain all sediment and erosion control devices and remove accumulated silt from such devices. All silt removed shall be disposed of as directed by the superintendent. The period for maintaining these devices shall be at least until all disturbed areas are revegetated and further as may be directed by the superintendent or Council.
- The contractor shall maintain dust control until final completion of works

Area Schedule	
Name	Area
Site Area	966.73 m ²
Proposed	
Alfresco	23.71 m ²
Secondary Dwelling	53.53 m ²
Outbuilding	25.54 m ²
Pool	34.96 m ²

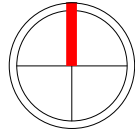
Existing Dwelling GFA	156.92 m ²
Proposed GFA (Secondary Dwelling & Outbuilding)	88.49 m ²
Max. Allowed GFA	483.35 m ²
Total GFA	245.41 m ²
Front Softscape	141 m ²
Front Hardscape	189.65 m ²
Front Landscape	330.65 m ²
Min. Front Softscape	25%
Total Softscape	434.23 m ²
POS	182.83 m ²

SUNPATH ANALYSIS



REV	DATE	DESCRIPTION	INITIAL
A	11.08.2023	Issued for Development Application	E.T.

DRAWING TITLE: Site Plan
DRAWN BY: E.T.
CHECKED BY: S.D.
LOT:2 | SEC: | DP:617038



SITE ADDRESS: 8A Woods Road, Sefton NSW 2162
CLIENT: Ahmed Aassar
PROJECT TYPE: Proposed construction of a detached secondary dwelling and outbuilding
DATE: Issue Date REV: A SHEET NO: A105
COUNCIL AREA: CB City Council SCALE: As indicated